



# Sonders

FORT COLLINS



**Design Guidelines**

OCTOBER 2021

# Preface

## PURPOSE FOR THE DESIGN GUIDELINES

These Design Guidelines have been developed to clearly communicate design principles and criteria for development within the Sonders Fort Collins community.

The intent of the Design Guidelines is to guide development within Sonders in an approach that will assure high-quality design and construction and promote the overall vision for the Sonders community.

All plans must be submitted to the Design Review Committee (DRC) for review of compliance with the guidelines outlined here. All improvements must be approved by the DRC prior to construction.

In addition to the guidelines presented here, builders, architects and designers are expected to meet all the criteria established by the City of Fort Collins. This includes building codes, planning and use codes.

Please review the following design requirements provided by the City of Fort Collins:  
[https://library.municode.com/co/fort\\_collins/codes/land\\_use?nodeId=ART3GEDEST\\_DIV3.5BUST\\_3.5.2REBUST](https://library.municode.com/co/fort_collins/codes/land_use?nodeId=ART3GEDEST_DIV3.5BUST_3.5.2REBUST)



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INTRODUCTION TO  
**SONDERS**

We have a shared opportunity to design and build something highly rewarding for our future residents.



# Live in high regard to yourself.

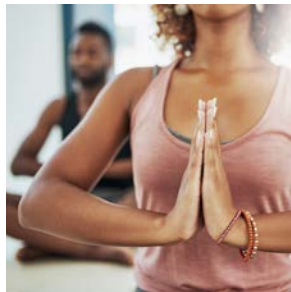
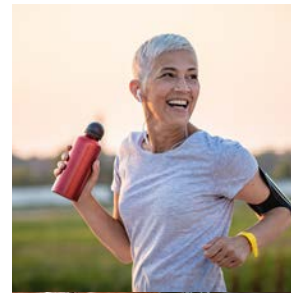
It's time to live as good as healthy feels.

And it's time to trust the increasingly wiser you.

Live at Sonders Fort Collins and you will have an array of trails, parks and waterside experiences to savor on a daily basis. Here, your time spent in nature becomes a natural part of your day. You will also have a variety of life-long learning programs at the Sonders Learning Center to pursue your next passion. In addition, Sonders' expansive community gardens, renewable energy programs and robust sustainability standards give definition to a whole new category of living.

The perfect place at the perfect time. You deserve this.

## Be your own best friend.





# Phase I Site Plan



## PLANNED AMENITIES:



A campus environment of STUDIOS for workshops, classes and socializing, plus an outdoor recreation area and swimming pool.



**Evernew Park**  
AT SONDRS

A celebration of sustainability and a testament to Sonders' commitment to our shared environment and our shared tomorrow.



**Flourish Park**  
AT SONDRS

A community park dedicated to community gardens of the neighborly kind.



**Serene Park**  
AT SONDRS

Savor the never-ending soothing rhythms of being waterside.





GENERAL DESIGN  
**PRINCIPLES**

To maintain the vision of Sonders,  
three foundational design principles have been  
established to govern the Design Guidelines offered here.



## General Design Principles



### PROPORTION

The unity created when all parts relate with each other.



### CONTRAST

The complementary nature of difference.



### RHYTHM

The inherent relationship between land, home and lifestyle.





ARCHITECTURAL  
**APPROACH**



The architecture of Sonders will create the look and feel of a diverse, innovative and character-rich community.

## Architectural Approach

The architectural guidelines included here include an array of seven architectural styles that share a connective vision. The smart segmentation of housing choices at Sonders will enhance our mutual business success and offer an acknowledgment of our respect and the “high regard” we have for our future residents who have a variety of lifestyle wants and needs and aspirations.

These guidelines are advisory only and creative application of the design concepts shown here are encouraged. The intent is to allow for flexibility while encouraging the use of these guidelines to ensure the architectural character at Sonders will be timeless, innovative and highly-desirable.





DESIGN

# STYLES

The seven, forward-looking architectural styles outlined here offer both a diversity of look as well as a shared view of efficient, stylish and life-enhancing design.



# Design Principles

The purpose of the Sonders Design Guidelines is to create an aesthetically pleasing community in Fort Collins utilizing architectural styles that are appropriate.

Each architectural style that has been identified for use in the community is distinct and features unique qualities that are specific to the style.

Adherence to these stylistic guidelines will ensure that the beauty and visual interest of the community remains pure. The Sonders Fort Collins community consists of the following architectural styles:

- **MODERN FARMHOUSE**
- **MOUNTAIN RUSTIC**
- **HILL COUNTRY**
- **TRANSITIONAL**
- **MODERN CRAFTSMAN**
- **MID-CENTURY MODERN**
- **MODERN BUNGALOW**

The general architectural requirements for all styles are listed beginning on page 17.

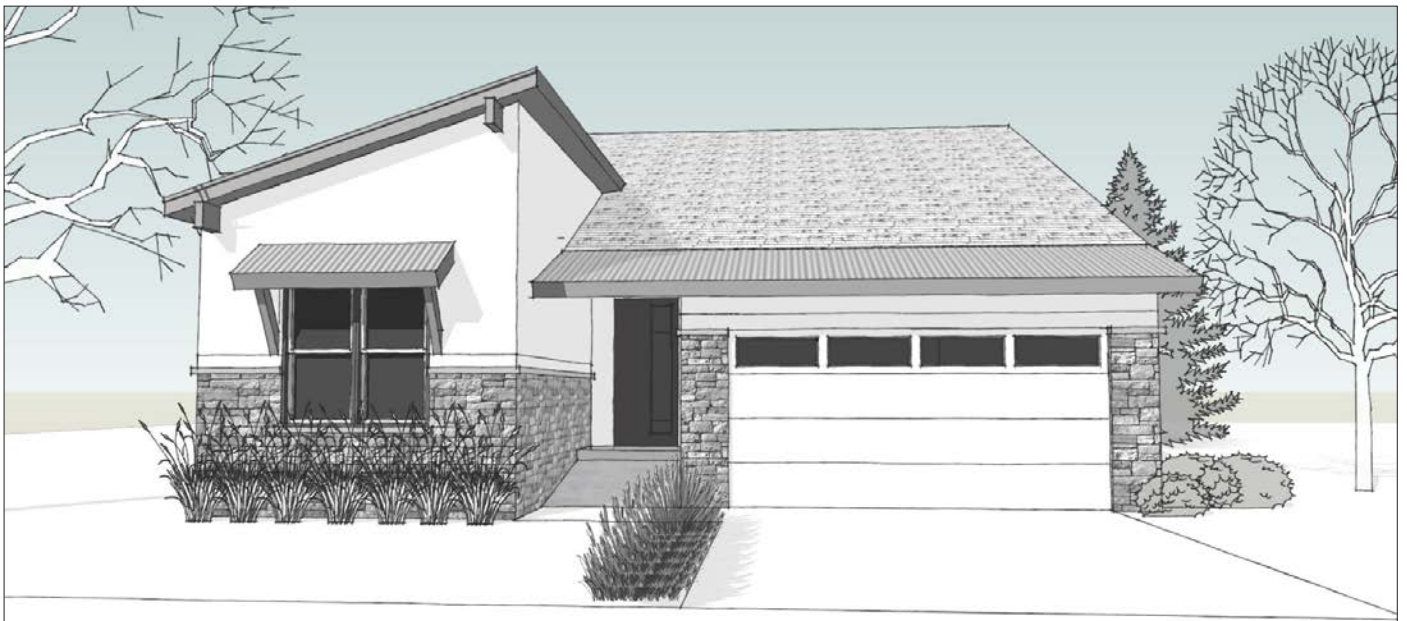


## Design Styles



### MODERN FARMHOUSE

The Modern Farmhouse style is rooted deeply in the Eastern plains of Colorado; the simple detailing and clean lines evoke a sense of familiarity and comfort. A pallet of classic farmhouse materials like Board & Batten siding, and narrow clapboard siding can be updated with alternative applications and colors. Strong roof forms can be playful but familiar. Metal accents and even painted brick can be used to bring a classic Farmhouse into the 21st century.



### MOUNTAIN RUSTIC

Mountain Rustic is based in the heritage of old mountain architecture with a contemporary influence. Modern roof lines and materials express this style and set it apart from the other styles. Heavy Timbers, a sturdy masonry base and an additive form are some of the characteristics needed for this style.



## Design Styles



### HILL COUNTRY

This style should take on an additive form, as if it has been built up over several years. Rustic materials with clean edges, and details will give this style a sophisticated homestead feel. Building Massing should carefully consider scale, proportion, and a clean organization of fenestration.



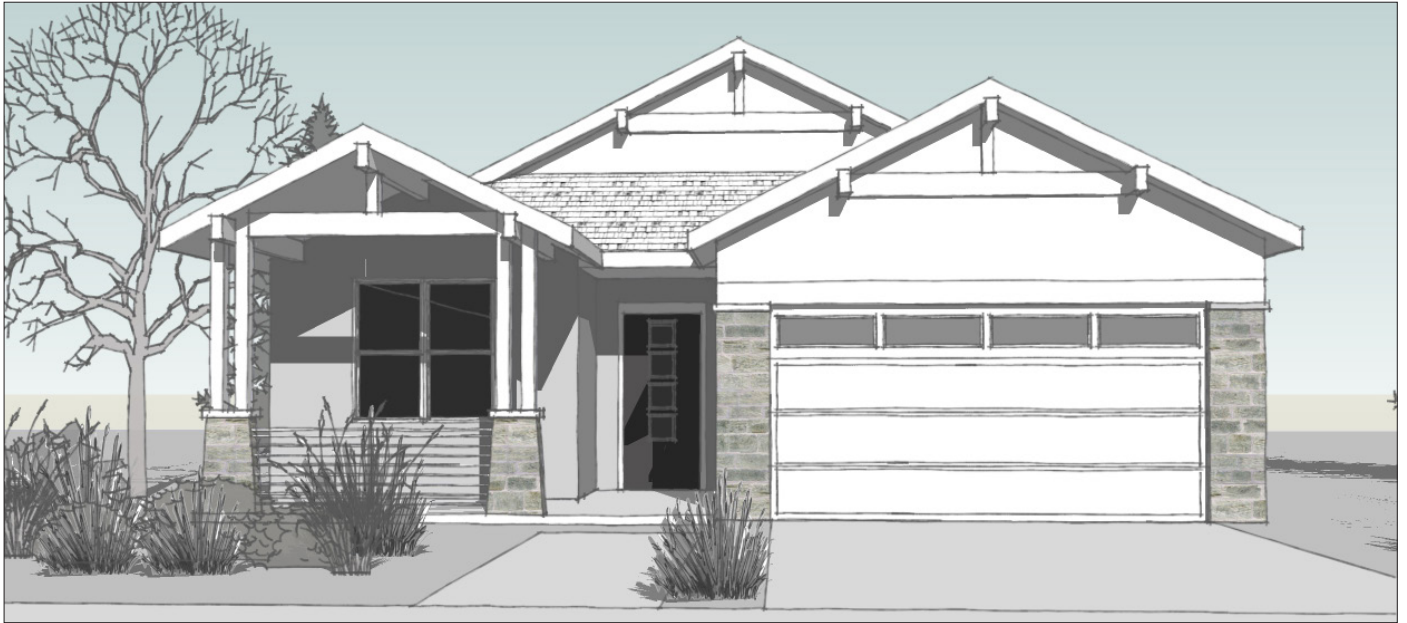
### TRANSITIONAL

A fresh take on the typical suburban neighborhood is what this style shall evoke. Familiar shapes and forms shall be streamlined and shown with less ornamentation. Materials shall be re-interpreted and/or used in different ways, along with introducing new materials. Colors shall be playful but purposeful.





## Design Styles



### MODERN CRAFTSMAN

Clean lines, and familiar forms, and inspiration from the Arts & Crafts movement define the Modern Craftsman style. Rustic textures and materials can be used in new applications. The rich detailing of the traditional style should be refined and simplified to bring this style into modern aesthetic.



### MID-CENTURY MODERN

Utilizing post and beam concepts that eliminated bulky support walls in favor of walls seemingly made of glass is as important element to Mid-Century Modern homes. Indoor/Outdoor relationships shall be celebrated. Colors and playful fenestration should be used to create this iconic style.



## Design Styles



### MODERN BUNGALOW

Sturdy and anchored characteristics give a bungalow house its sense of permanence, and playful cottage detailing make it appealing. These qualities should be applied to the Modern Bungalow style. An inviting front porch that is anchored is an important element. The detailing should be sophisticated, and the low sheltering roof invokes a level of comfort. Dormers can be used to add playfulness and balance.



### MASSING & SCALE

- a) All building elevations shall express the architectural style of the home and shall contain articulation in the form of color, texture, shade, and shadow to strongly express the architectural style of the home.
- b) All elevations must contain windows, thoughtful use of materials, massing and/or roof changes.
- c) The massing should be composed of complimentary forms.
- d) All elevations should appear “anchored” to the ground on the main level, with upper levels smaller and resting on the main level below.
- e) Avoid long blank expanses of walls.
- f) A variety of massing and forms are required between plans to avoid repetition along a street scape.
- g) The massing and scale of the architecture shall be enhanced through the variation of materials and color.

### ROOF FORMS

- a) Provide roof forms that are authentic to the architectural style chosen.
- b) Create roof pitches and overhangs that complement the architectural style of the home.
- c) Large, covered porches and eaves are encouraged to promote outdoor living.
- d) Elevations should use varying roof heights to add visual interest.
- e) Elevations should avoid using large roofs with a single ridge.
- f) Roof forms shall articulate different volumes/massing.
- g) Roof overhangs can vary from 0” to 24”.

### COLOR

- a) All building materials, colors, and textures shall be used to provide visual interest to the home.
- b) A distinctive color and material palette shall be created for each architectural style and approved by the DRC.
- c) Natural earth tones and neutral colors shall be the dominate colors used on home with “punch” colors to accentuate architectural forms and features.
- d) All exposed wood shall be sealed or stained to prevent premature deterioration.
- e) Color schemes may not be repeated on an adjacent lot, directly behind, or directly across the street.





## MATERIALS

- a) Wall material must continue within 6 inches of finished grade on the front elevation. For all other elevations, the wall material must continue to within 15 inches of finished grade with steps not to exceed 2 feet for side elevations on walkout/garden-level conditions. The unfinished concrete between the wall material and finished grade must be stucco or other similar material, which may be approved by the DRC on a case-by-case basis. Stone must continue within 2 inches of finished grade when adjacent to paved surfaces and to within 6 inches of finished grade when adjacent to dirt on all elevations.
- b) Exterior wood shall not be left untreated, it must be finished and not left to weather naturally.
- c) 50% of the homes in a neighborhood shall include some masonry; this includes, but is not limited to stone, brick, stucco, and concrete wood veneers.
- d) Materials should always wrap the corner of a wall and preferably terminate at an inside corner.

## SIDING

- a) Wood siding can be natural wood, composition wood material, or cementitious material. Smooth finishes are encouraged.
- b) Vinyl siding is prohibited.
- c) Horizontal lap siding, ship lap siding, board and batten, and vertical groove siding is permitted. Diagonal application will be approved on an individual basis by the DRC.
- d) Allowable stucco finishes are fine sand and smooth finish.

## ROOFING

- a) Architectural grade dimensional shingles, metal, and concrete roof tile are permitted.
- b) The roofing color should be consistent with the color palette of the architectural style.
- c) Metal accent roofs are encouraged.
- d) Flat roofs shall be a medium to dark tone to protect neighboring lots from glare.

## MASONRY

- a) Adhered concrete masonry veneer, real stone, and exposed board form concrete are permitted.
- b) Brick, large scale masonry units, and cut stone can be used for most of the elevation styles.
- c) River rock and large-scale fieldstone are prohibited.
- d) Dry stacked manufactured stone is permitted on most elevations.
- e) Stucco and stucco board products may be used on most of the elevation styles.
- f) Visible columns from public open space should be masonry wrapped.

### **Gift to the Street**

*Masonry on corner homes and those that back to public open space needs to run the full length of the house or provide another "gift to the street," e.g., breaks in plane and changes of materials, pop outs, box or bay windows, internal porches/patios masonry columns on decks, etc.*



## PORCHES & DECKS

- a) The porch should have human scaled entries, and porches that welcome visitors.
- b) Rear decks and balconies should not project outwards more than they are recessed inwards unless specifically approved.
- c) Corner lots should encourage wrap-around porches.
- d) Rear decks should be integrated into the mass of the home as to not appear tacked on.
- e) The porch shall have human scaled entries, and porches that welcome visitors.

## DOORS & WINDOWS

- a) Entry doors and garage doors should be architecturally decorative, style specific and unique.
- b) Clear wall space above the garage door shall be minimized to 30"max at straight soffit conditions, or 24" at gable edge conditions.
- c) Window groupings shall be placed to enhance the architectural style of the home.
- d) The window style shall be consistent on all four sides.
- e) The size and scale of the windows shall enhance the home's overall feel.
- f) Door and window trim should be reflective of the architectural styling of the home.
- g) Windows should be placed to create proportionate and balanced compositions.

## ARCHITECTURAL ELEMENTS

- a) Columns should reflect the architectural style of the home.
- b) Columns shall be proportionately sized and spaced.
- c) Deck post shall be substantial and anchored to the ground with a solid base.
- d) Light fixtures shall be appropriate to the architectural style of the home.
- e) Engaged columns at wall intersections is encouraged.
- f) Brackets, Corbels, and beams should be substantial.
- g) Railings should be integral to the style and aesthetic of the home.
- h) Material transitions should include banding that delineates a clear transition, both vertical and horizontal.
- i) Architectural elements should be scaled appropriately, possess visual integrity, and add function.





LOT / GARAGE  
**CONFIGURATIONS**

Creating interesting and diverse street scenes  
and inviting neighborhood settings require attention  
to plan distribution, minimizing the visual impact of garages  
and well-designed lot configurations.



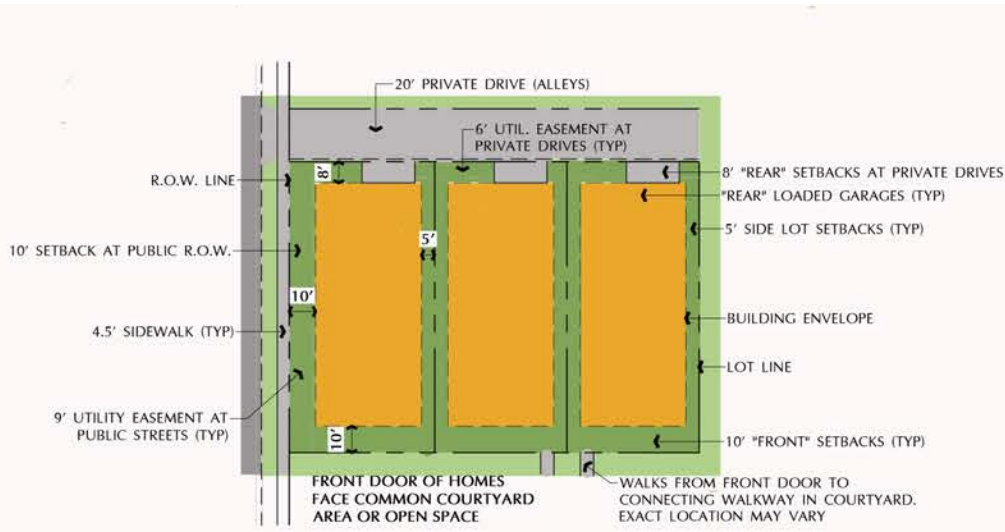
## GARAGES

Garages shall be an integral part of the design of the home and shall not dominate or overwhelm the home.

- a) The maximum number of visible garage bays per property is 4.
- b) The width of the garages shall not exceed a maximum 50 percent of the front elevation of the home.
- c) The maximum number of garage bays on an elevation is 3.
- d) If 3 garage bays are adjacent to each other, 1 of the garage bay must be set back by a minimum of 24 inches.
- e) Plate height of garage elements shall not exceed 30 inches above the top edge of the garage door trim.
- f) Front Load
  - i) As per City of Fort Collins code:  
*Street-facing garage doors must be recessed behind either the front facade of the ground floor living area portion of the dwelling or a covered porch (measuring at least six [6] feet by eight [8] feet) by at least four (4) feet. Any street-facing garage doors complying with this standard shall not protrude forward from the front facade of the living area portion of the dwelling by more than eight (8) feet.*

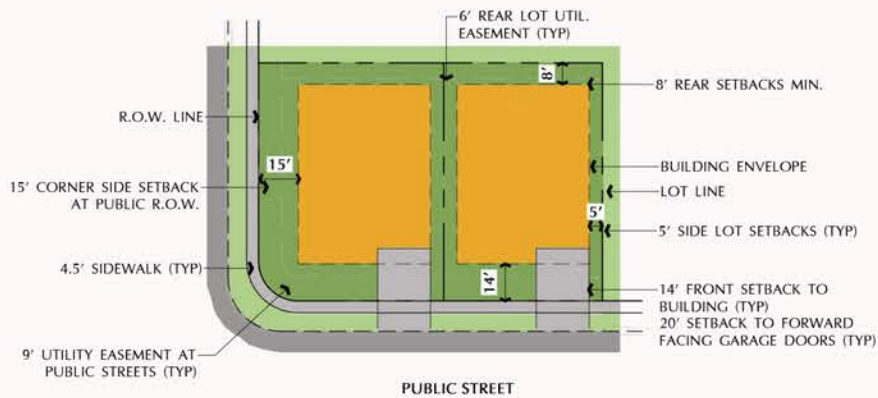
In addition to Fort Collins code, Sonders Design Guidelines dictate that front load (street-facing) garages need to be recessed behind the front plane of the home by a minimum of 24." Builders may use the front of the porch for the garage recess requirement if they meet the size requirements as noted in the code.





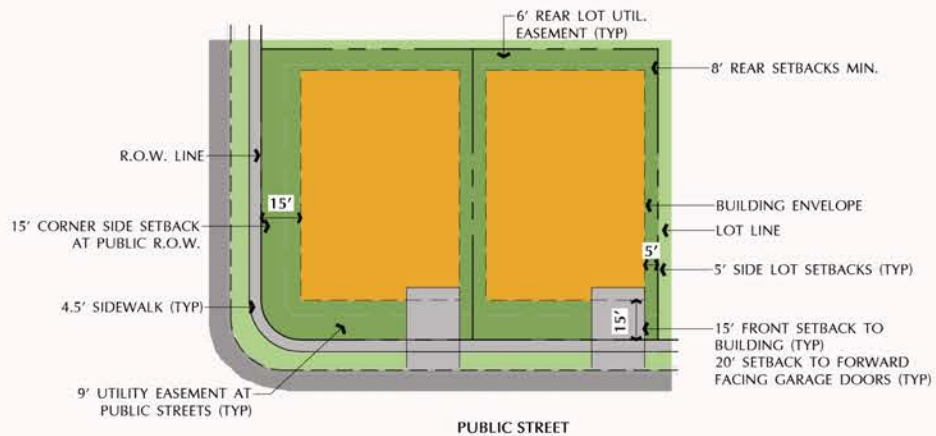
**COURTYARD HOMES TYPICAL LOT DETAIL**

LOTS 280-329  
SCALE 1"=30'



**60' PATIO HOMES TYPICAL LOT DETAIL**

LOTS 120, 177-185, 198-279  
SCALE 1"=30'

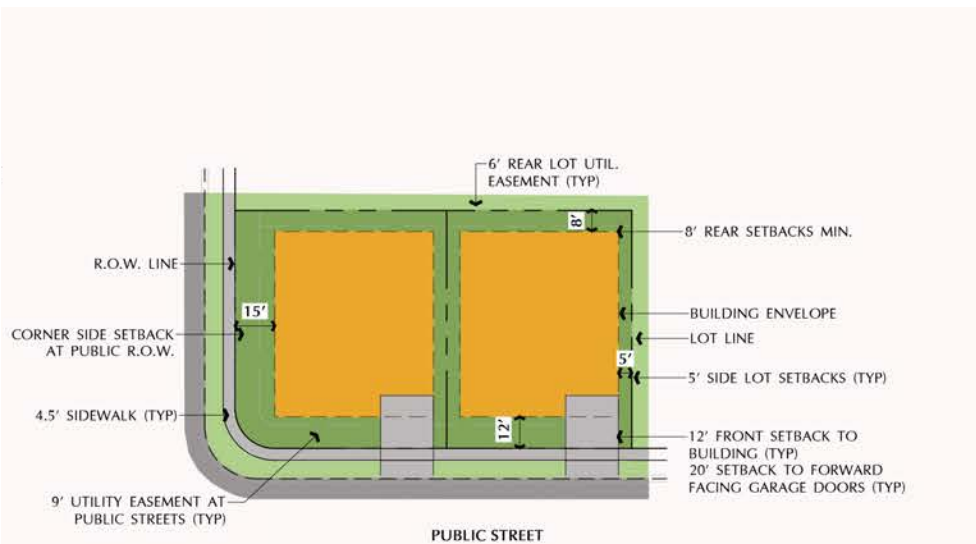


**70' ESTATE LOTS TYPICAL LOT DETAIL**

LOTS 137-141, 153-163  
SCALE 1"=30'

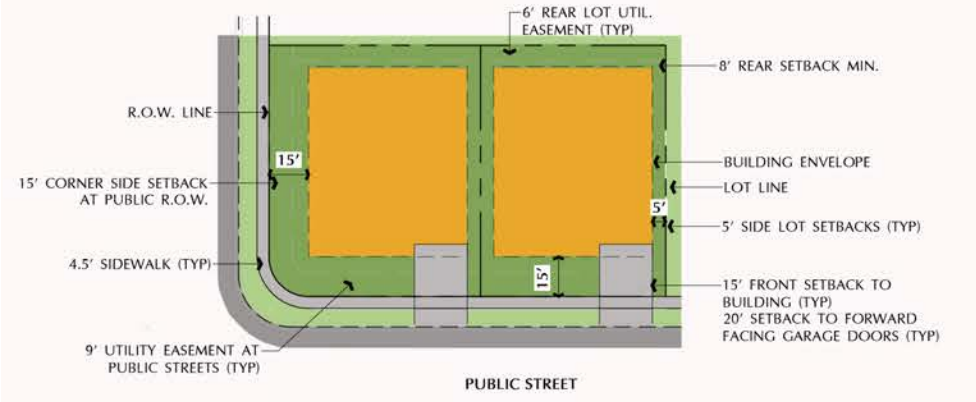


# Lot Garage | Configurations



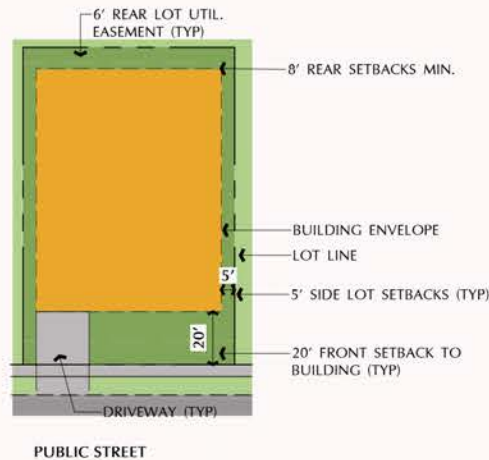
## 70' PATIO HOMES TYPICAL LOT DETAIL

LOTS 1-14, 121-136, 186-197  
SCALE 1"=30'



## 70' SINGLE FAMILY TYPICAL LOT DETAIL

LOTS 97-119, 164-176  
SCALE 1"=30'



## ESTATE CUSTOM HOME TYPICAL LOT DETAIL

LOTS 142-152  
SCALE 1"=30'







LANDSCAPING +  
**FENCING**

It is our shared landscape-both private and common areas that offers a significant definition of our community.

# Landscaping Requirements

## PARKWAY STRIP

All areas between the back of the curb and the edge of sidewalk shall be planted with turf grass and shall have street trees planted per the overall approved Waters Edge Landscape Plans. Parkway strip landscaping is the requirement of each builder as they landscape the front yard. The selection and placement of trees in the parkway strip is dictated by the City and the builder and shall obtain a tree permit from the City of Fort Collins Forestry Department.

## FRONT YARD LANDSCAPING

All front yard landscaping shall be installed by the builder of the home with pre-approved landscape plans.

*These plans shall follow these design guidelines.*

## TURF GRASS

Grass areas shall be a minimum of five feet wide for irrigation efficiency and shall be at least five feet away from the foundation of the home, or greater if required by the home builder. The maximum amount of turf grass shall be as noted below:

Courtyard Homes (lots 280-329 - 25% of landscape area)

Patio Home Lots (lots 1-14, 120-136, 177-279) - 45% of landscape area

Single Family Lots (lots 97-119, 137-151, 153-176) - 60% of landscape area

Custom Homes (lots 142152) - 60% of landscape area

Landscape area is defined as all areas outside of the home, patios, walkways and other hard surface areas

## PLANTING AREAS

All landscape areas that are not turf grass shall be planted with a combination of shrubs, ornamental grasses, perennials, or similar material to achieve a minimum of 50% coverage of the landscape area within 3 years of planting. Side-yard areas between homes shall be exempt from the 50% coverage requirement.

## IRRIGATION

Non-potable water irrigation is provided to all lots. All landscape areas shall be installed with an automatic irrigation system that is connected to the non-potable water irrigation system.



## Fencing



Homeowners are allowed to install 4-foot tall, 3-rail Ameristar Montage Majestic Iron Fence accent fencing around the rear and side yards of the home. Alley load courtyard homes may use a 6' solid fence for security in the alleys. All fencing shall be installed a minimum of 4' behind the front wall of the home. Street side fencing shall be located a minimum of 2' behind the edge of sidewalk as required by the City of Fort Collins.

All accent fencing shall be black 4-foot tall, 3-rail Ameristar Montage Majestic Iron Fence installed per manufactures instructions.





In addition to the guidelines presented here, builders, architects and designers are expected to meet all the criteria established by the City of Fort Collins. This includes building codes, planning and use codes.

Please review the following design requirements provided by the City of Fort Collins, Colorado

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For questions regarding the Sonders Fort Collins Design Guidelines, please contact

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# Sonders

FORT COLLINS